

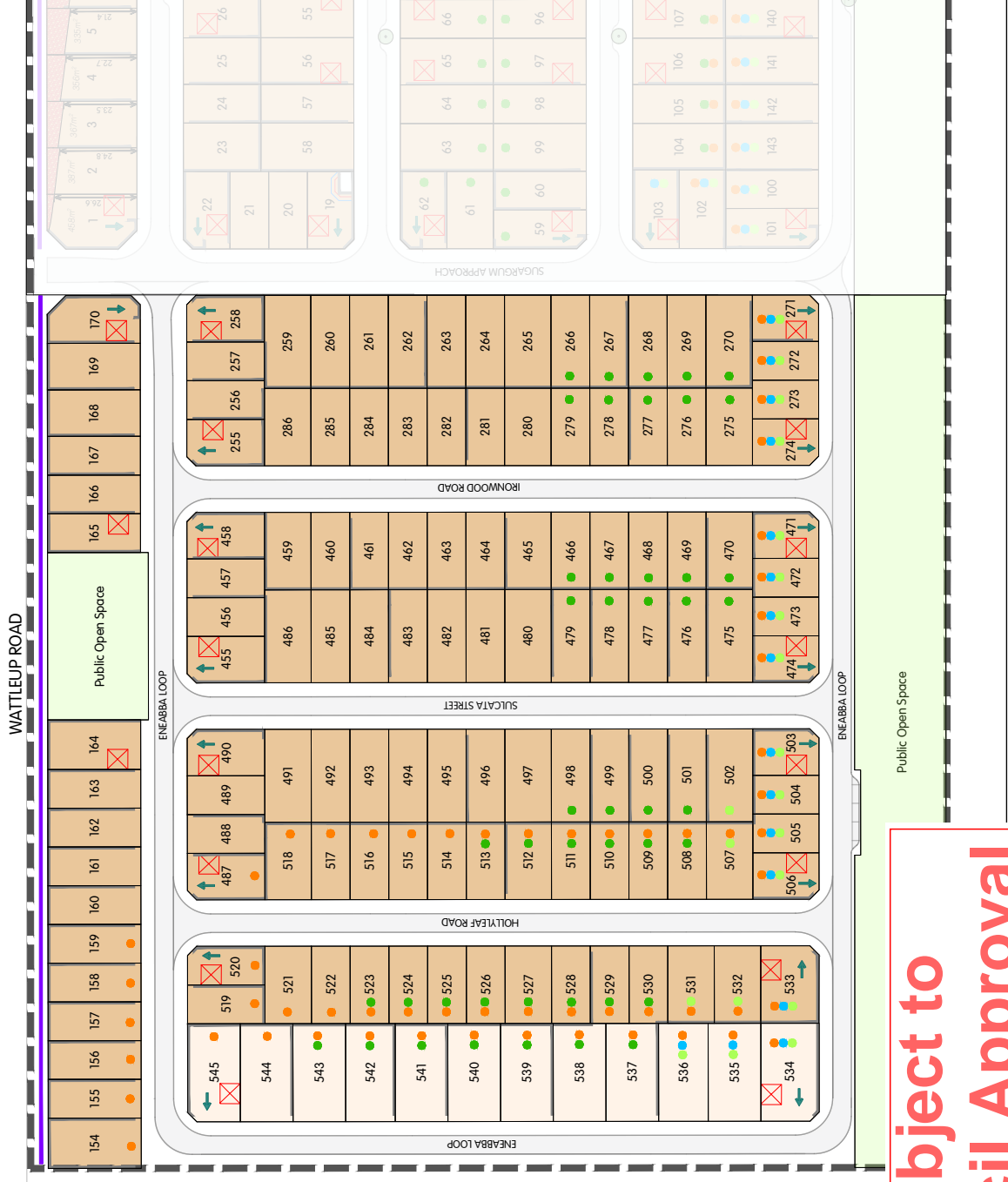
- LEGEND**
- LDP BOUNDARY
 - LOT NUMBER
 - R20
 - R30
 - NO VEHICULAR ACCESS
 - PRIMARY STREET FRONTAGE
 - DESIGNATED GARAGE LOCATIONS
 - BATTERING - BUILDING EXCLUSION AREA
 - EFFECTIVE LOT AREA
 - 123m²
 - RETAINING WALL
 - WESTERN POWER TRANSFORMER SITE WITH FIRE RISK ZONE
 - WESTERN POWER TRANSFORMER SITE WITH NOISE RISK ZONE

- QUIET HOUSE DESIGN REQUIREMENTS**
- Package A (Ground Floor)
 - Package B (First Floor)
 - Package A (First Floor)
- BUSHIRE REQUIREMENTS**
- SUBJECT TO BMP

Note: LDP Provisions are found overleaf.



Area 1 of 3 (see following page)



Subject to
Council Approval

SUBJECT AREA



QUBE
HATCH

CADASTRAL INFORMATION

STATE OF WESTERN AUSTRALIA
 YAMMERS 20125
 DWG REF: 20125-cad.DWG
 PROJECTION: PC94
 SIZE A3 1:1500
 0 metres

M UPDATES
 L WATTLEUP WEST
 K BUCKLES
 J EASTERN LOTS
 REV DESCRIPTION

2640313
 2662225
 231201
 251126
 YMMADD DRAWN APPRD

LOCAL DEVELOPMENT PLAN
Lots 78, 80, 117, 809, 813, 815, 9001-9003 Wattleup Road - Hammond Park
 City of Cockburn
 DRAWING NO. REV. JOB CODE
QUB WAT RDI 030 M

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY

- LEGEND**
- LDP BOUNDARY
 - LOT NUMBER
 - R30
 - NO VEHICULAR ACCESS
 - PRIMARY STREET FRONTAGE
 - DESIGNATED GARAGE LOCATIONS
 - BATTERING - BUILDING EXCLUSION AREA
 - EFFECTIVE LOT AREA
 - RETAINING WALL
 - WESTERN POWER TRANSFORMER SITE
 - WITH FIRE RISK ZONE
 - WESTERN POWER TRANSFORMER SITE
 - WITH NOISE RISK ZONE

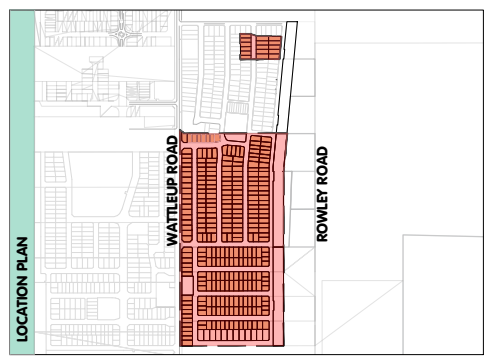
QUIET HOUSE DESIGN REQUIREMENTS

- Package A (Ground Floor)
- Package B (First Floor)
- Package A (First Floor)

BUSH-FIRE REQUIREMENTS

- SUBJECT TO BMP

Note: LDP Provisions are found overleaf.

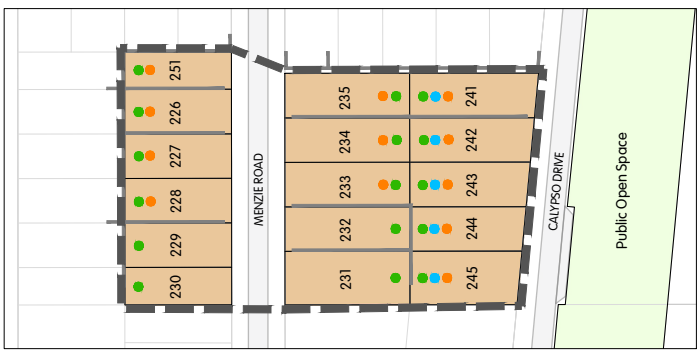


SUBJECT AREA



Area 2 of 3

Area 3 of 3



CADASTRAL INFORMATION

2640313
 2642225
 231201
 25126
 YMWDD
 M UPDATES
 L WATTLEUP WEST
 K BUSH-FIRE
 J EASTERN LOTS
 REV DESCRIPTION
 DRAWN APPRD
 SIZE A3 1:1500
 0 metres

LOCAL DEVELOPMENT PLAN
Lots 78, 80, 117, 809, 813, 815, 9001-9003 Wattleup Road - Hammond Park
 City of Cockburn
 DRAWING NO. REV.
QUB WAT RDI 030 M

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY

1. Local Development Plan Provisions

- 1.1 The requirements of the R-codes and R-MD Codes (as applied through the City's Medium - Density Housing Standards (Local Planning Policy 1.1.6) are varied as show on this plan.
- 1.2 The requirements of the R-Codes, R-MD Codes and City of Cockburn Local Planning Scheme No. 3 shall be satisfied in all other matters.
- 1.3 Variations to the requirements of this LDP will require approval from the City of Cockburn.

2. Building Exclusion Area

- 2.1 No habitable buildings or structures are to be built within any part of the building exclusion area containing battering to Wattleup Road, as shown on the LDP.
- 2.2 The Batter - Building Exclusion Areas for Lots 1 - 18 can not be used in the calculation of the Outdoor Living Area. The OLA size requirement is based on the Effective Lot Area of the lot (i.e. excludes the Batter - Building Exclusion Area, refer legend). The Batter - Building Exclusion Areas must not be claimed as part of the OLA dimensioning.

3. Dwelling Orientation

- 3.1 Where specified on the plan, dwelling to address this frontage with clearly defined entry points visible and accessed from this frontage. Street setback pursuant to the R-Codes (as amended) are to be applied to this frontage.
- 3.2 Dwelling designs for all lots abutting a secondary street or Public Open Space shall include at least one major opening, unobstructed by fencing, facing the secondary street or Public Open Space.

4. Vehicle Access

- 4.1 Garages are to be provided in the location designated on the plan.
- 4.2 For lots where no vehicle access is possible due to retaining walls as designated on this plan, access to the garage may be provided from the primary street (or other accessible frontage where applicable).
- 4.3 No vehicle access is permitted where designated on the plan.

5. Quiet House Design

- 5.1 For those lots affected by the Quiet House design (QHD) requirements, dwellings are to be constructed with the relevant 'Deemed to Comply Noise Insulation Package' specified on this LDP for ground floor construction. Where dwellings are constructed to two or more storeys, construction is to comply with the noise insulation package requirement specified in an approved Lloyd George "Transportation Noise Assessment" available from the City of Cockburn (27th October 2023), including at least one outdoor living area screened from the noise source by the dwelling and/or a minimum 2.4 metre high solid fence.

- 5.2 Noise Insulation Package requirements are set out under the Implementation Guidelines for State Planning Policy 5.4 (SPP5.4) and the Australian Standard AS2107-2000.

6. Bushfire Management

- 6.1 The land subject to this LDP is within a bushfire prone area, as designated by the Department of Fire and Emergency Services. The lots identified on this LDP as being subject to a Bushfire Management Plan require a Bushfire Attack Level Assessment and certification prior to construction, in accordance with Australian Standard 3959.

This LDP shall be read in conjunction with the approved Bushfire Management Plan.

7. Mechanical Ventilation Requirements

In implementing the acceptable treatment packages, fresh air requirements of the National Construction Code must be satisfied on the basis of windows closed.

Whilst not the only solution, the most common is mechanical ventilation / air conditioning installed with the following considerations:

- Acoustically rated openings and ductwork to provide a minimum sound reduction performance of Rw 40 dB into sensitive spaces;
- Evaporative systems require attenuated ceiling air vents to allow closed windows;
- Refrigerant based systems need to be designed to achieve National Construction Code fresh air ventilation requirements;
- Openings such as eaves, vents and air inlets must be acoustically treated, closed or relocated to building sides facing away from the corridor where practicable.

Subject to
Council Approval